



## Planning and Zoning Commission Meeting

July 9, 2024

7:00 p.m. – City Hall Council Chambers and Via Videoconference

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Anyone who wishes to view the meeting in real time may do so as it will be streamed live on the city's YouTube page through YouTube Live or may use the Zoom link below to access the meeting.

1. Call to Order
2. [Approve the June 11, 2024, Planning Commission Minutes](#)
3. Staff Report
4. [Site Plan Review 14790 N. Fairview Dr. – Nodaway Valley Bank](#)
  - Site Plan Review for a 4,273 ft<sup>2</sup> bank building.
5. [Street Designation and Name Changes Discussion](#)
  - Fifth St. Circle
  - Fourth St. Terrace
  - Third St. Terrace
  - Northbound/Southbound Commercial Ave/St
  - Eastbound/Westbound Commercial St./Ave to 148<sup>th</sup> Street
6. Adjourn

Join Zoom Meeting

<https://us02web.zoom.us/j/88586462587>

Meeting ID: 885 8646 2587

Passcode: 256039



# SMITHVILLE PLANNING COMMISSION

## REGULAR SESSION

June 11, 2024

7:00 P.M.

City Hall Council Chambers and Via Videoconference

### 1. CALL TO ORDER

Chairman John Chevalier called the meeting to order at 7:01 p.m.

A quorum of the Commission was present: Alderman Melissa Wilson, John Chevalier (via Zoom), Rob Scarborough, Billy Muessig, Deb Dotson and Mayor Damien Boley.

Staff present: Jack Hendrix and Brandi Schuerger.

### 2. MINUTES

The March 12, 2024, Regular Session Meeting Minutes were moved for approval by MAYOR BOLEY, Seconded by MUESSIG.

Ayes 6, Noes 0. Motion carried.

### 3. STAFF REPORT

HENDRIX reported:

Construction continues in various areas throughout the city.

We have several streets that could benefit from name changes. They are listed below:

- Fourth Street Terrace: This is right next to Fourth Street. Staff suggests changing the name of this one to Fourth Terrace.
- Commercial Street/Avenue: Where it starts at Church Street, if you follow it to where it ends by McDonalds at 169 Hwy the names

changes between Commercial Street and Commercial Avenue several times. It would be best if we identified this as either Street or Avenue.

- We also anticipate in the near future that Commercial Street at 169 Hwy will extend farther west towards the industrial park. Staff's thoughts are to adjust the street name as it extends west and make it 148<sup>th</sup> Street instead of a continuation of Commercial Street. The question is should we change it at the intersection of Commercial Street and 169 Hwy or change it on the curve where Shamrock Way and Commercial Street meet?

After a discussion with the commission, it was decided that at Shamrock Way and Commercial Street they would like to see the street name change to 148<sup>th</sup> St. The commission would like to pursue changing the other street names at the locations listed above. Mr. Hendrix will put these changes on a future agenda.

There are 3 potential residential developments that are working on getting items together for Planning Commission review. One of which plans to submit in enough time to hopefully make the August agenda.

#### **4. SITE PLAN REVIEW 100 JAMES ST. – THORNELL, INC / MIKE MCGUIRE**

- **SITE PLAN REVIEW FOR A 7,800 FT<sup>2</sup> ADDITION TO THE EXISTING WAREHOUSE**

HENDRIX stated that this is an addition to the north side of the building to add storage. Stormwater items have been reviewed and approved. There are no traffic issues associated with this. Staff recommends approval of the proposed Site Plan with the condition that applicant convey the James Street right of way on the east side of the parcel to the City of Smithville prior to occupancy of the addition.

MAYOR BOLEY motioned to approve the Site Plan for Thornell, Inc at 100 James Street. Seconded by DOTSON.

## **DISCUSSION:**

ALDERMAN WILSON questioned Mr. Hendrix about the condition for approval. Has this been done or will this be done after approval tonight?

HENDRIX stated that it will done quickly. Most likely within the next week.

**THE VOTE:** MUESSIG-AYE, CHEVALIER-AYE, ALDERMAN WILSON-AYE, SCARBOROUGH-AYE, DOTSON-AYE, MAYOR BOLEY-AYE.

**AYES-6, NOES-0. MOTION PASSED**

## **5. ADJOURN**

MAYOR BOLEY made a motion to adjourn. MUESSIG seconded the motion.

VOICE VOTE: UNANIMOUS

CHAIRMAN CHEVALIER declared the session adjourned at 7:17 p.m.



## Planning and Zoning Commission Procedural Summary

**MEETING DATE:** 7/9/2024

**ACTION ITEM:** Site Plan Review

**AGENDA ITEM:** 14790 N. Fairview Dr. Site Plan

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**REQUESTED COMMISSION ACTION:**

A motion to approve the Site Plan submitted.

**SUMMARY OF PROCEDURE:**

The application is to approve a site plan for a new, 4,273 ft<sup>2</sup>, bank building with four drive thru lanes.

When reviewing the submissions, the commission should be guided by the following:

1. The extent to which the proposal conforms to these regulations.
2. The extent to which the development would be compatible with the surrounding area.
3. The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.
4. The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.
5. The extent to which the proposal conforms to the adopted engineering standards of the City.
6. The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.
7. The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:
  - a. Preserve existing off-site views and create desirable on-site views;
  - b. Conserve natural resources and amenities available on the site;
  - c. Minimize any adverse flood impact;
  - d. Ensure that proposed structures are located on suitable soils;
  - e. Minimize any adverse environmental impact; and
  - f. Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.

The commission can recommend approval, approval with conditions or deny the application.

**ATTACHMENTS:**

☒ Plans      ☒ Staff Report      ☐ Other:



STAFF REPORT  
June 28, 2024  
Site Plan Review of Parcel Id #05-917-00-07-008.02

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Application for a Site Plan Approval

Code Sections:  
400.390 – 400.440                      Site Plan Approval

Property Information:

Address:                                      14790 N. Fairview Dr..  
Owner:                                        Nodaway Valley Bank  
Current Zoning:                            B-3P

Application Date:                           June 14, 2024

GENERAL DESCRIPTION:

Applicant seeks to obtain site plan approval for a 4,273 square foot building on lot 1 of Fairview Crossing North subdivision. Lot 1 was amended to include 60' of Lot 2 in order to accommodate a bank building with 4 drive-thru lanes. The original Lots 1 and 2 has conceptual plan approval for two buildings totaling 12,020 square feet. By reducing the building size, the project is well within the zoning plan limits. This project will also limit the size of any building on Lot 2 from 6,020, to substantially smaller due to the reduced lot size.

Section 400.410 Standard of Review

1. The extent to which the proposal conforms to these regulations.

*Meets the site plan standards*

2. The extent to which the development would be compatible with the surrounding area.

*Compliments the buildings to the east substantially and is similar to the current Central Bank of the Midwest property just a few hundred feet south.*

3. The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.

*The subdivision was created and approved in accordance with the Overlay district process to create the B-3P zoning. The first two buildings to develop have reduced the overall coverage and density approved in the Conceptual plan.*

4. The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.

*Complies fully by using the conceptual plan provisions that allow modifications to the approved densities if they are reduced.*

5. The extent to which the proposal conforms to the adopted engineering standards of the City.

*The layout includes stormwater detention as approved with the conceptual plan, reduces the total number of vehicles previously subscribed to the lot, and is mindful of a waterline easement along the south portion of the original lot 1.*

6. The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.

*Complies.*

7. The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:

a. Preserve existing off-site views and create desirable on-site views;

*On-site views will remain substantially commercial in nature from the original strip mall and undeveloped land to the east.*

b. Conserve natural resources and amenities available on the site;

*The site is vacant following the demolition of the strip mall several years ago, so no valuable natural resources existed on lot 1.*

c. Minimize any adverse flood impact;

*Project includes a storm detention basin in accordance with the approved conceptual plan.*

d. Ensure that proposed structures are located on suitable soils;

*The project engineer is aware of the previous building on site and will adjust footings based upon the soil types.*

e. Minimize any adverse environmental impact; and

*No adverse environmental impact is known.*

f. Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.

*All utilities are available on site and engineers have adjusted the site plan to protect a waterline that bisects the revised Lot 1..*

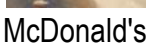
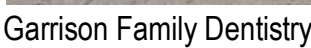
STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Site Plan with the condition that no permit shall issue on the remaining Lots 2 and 3 will revise their traffic impacts based upon the approved TIS.

Respectfully Submitted,

S/Jack Hendrix/S  
Director of Development

A B C D E F G H J K L M N P Q R



A1	Location Map
	Not to Scale

Not to Scale

# A1

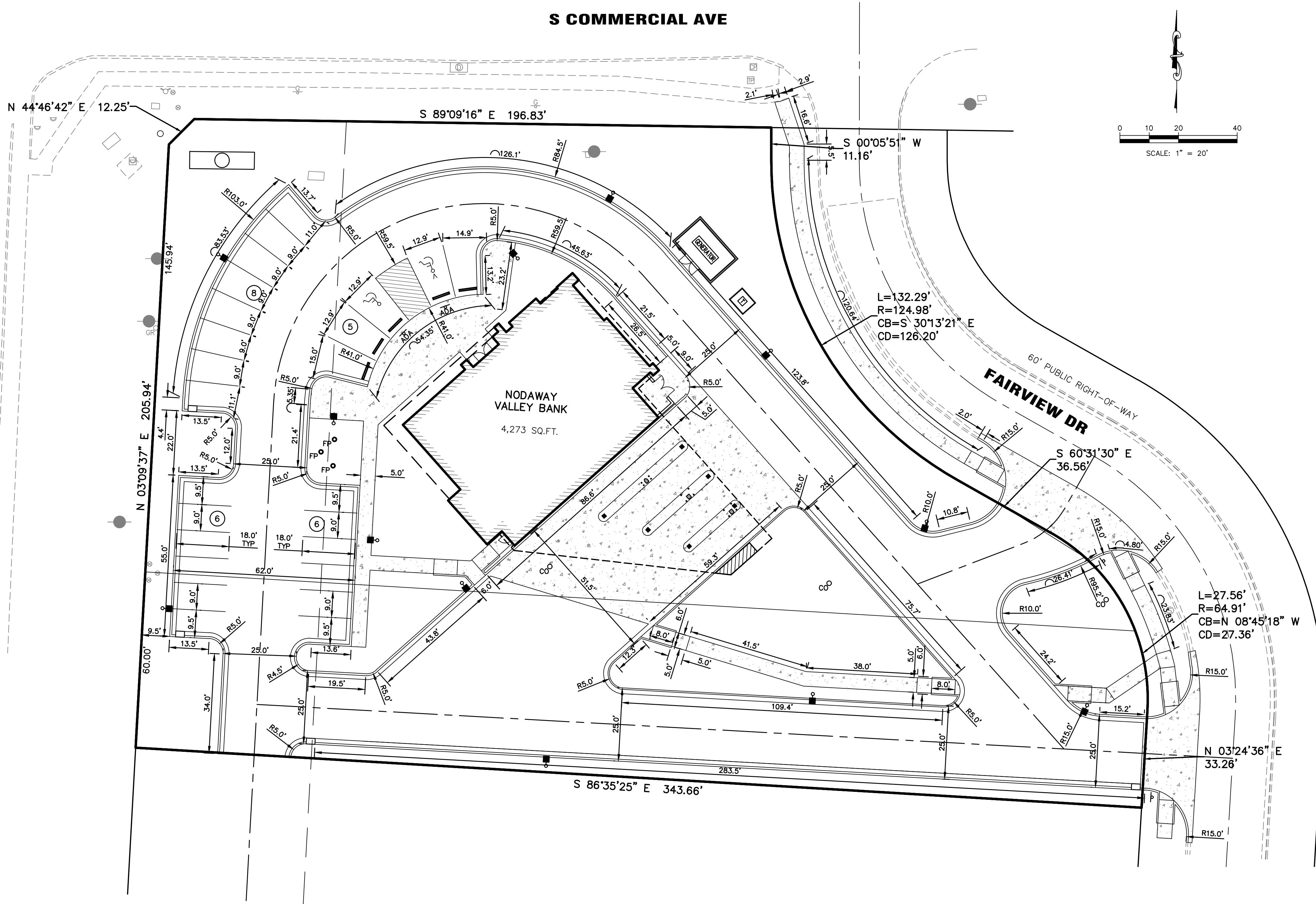
Project Number: 2023.169 © Copyright 2023



CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF SMITHVILLE, MISSOURI.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION AREA.
5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
6. ACCESSIBLE STALLS SHOWN WITH A "V" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 102 AND 120.
7. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL. ALL TRAFFIC CONTROL DEVICES, INSTALLATION, AND OPERATIONS, SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
8. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS, AND ENTRANCES, SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.
9. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

US 169 HIGHWAY



- NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
  3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
  4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.



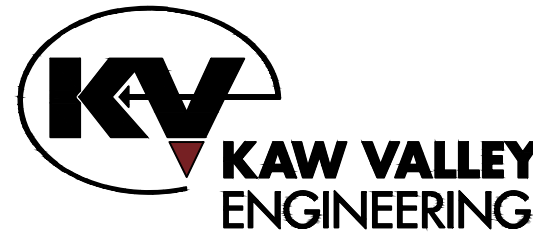
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Nodaway Valley Bank - Smithville Branch

1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank

P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

ISSUED FOR:

Site Plan Review

14 June 2024

Missouri Certificate of Authority: #ARC000344

FOR REVIEW

Drawn By JAD  
Checked By MAC

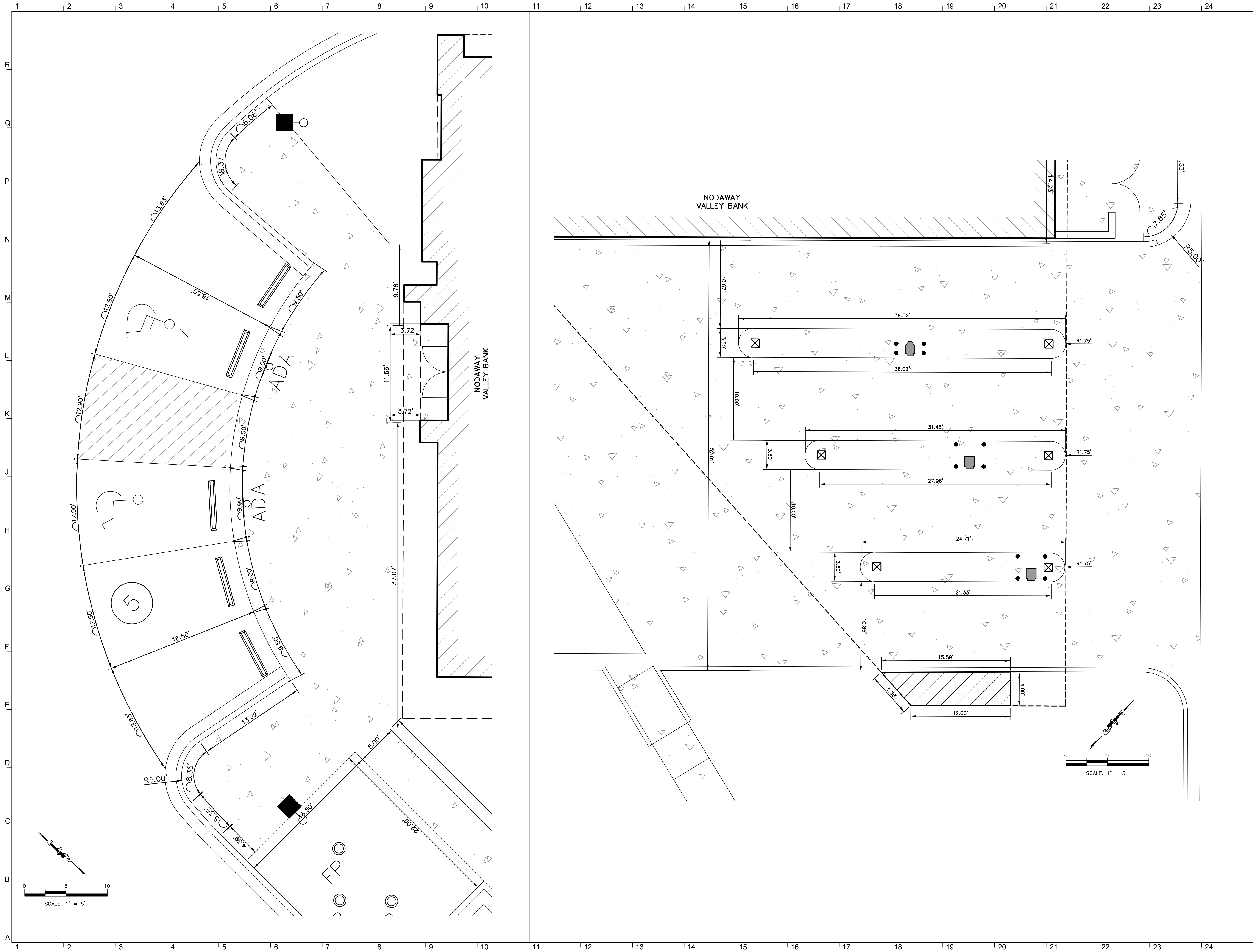
DIMENSION PLAN

C2.0

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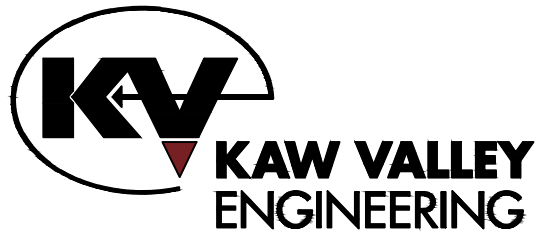
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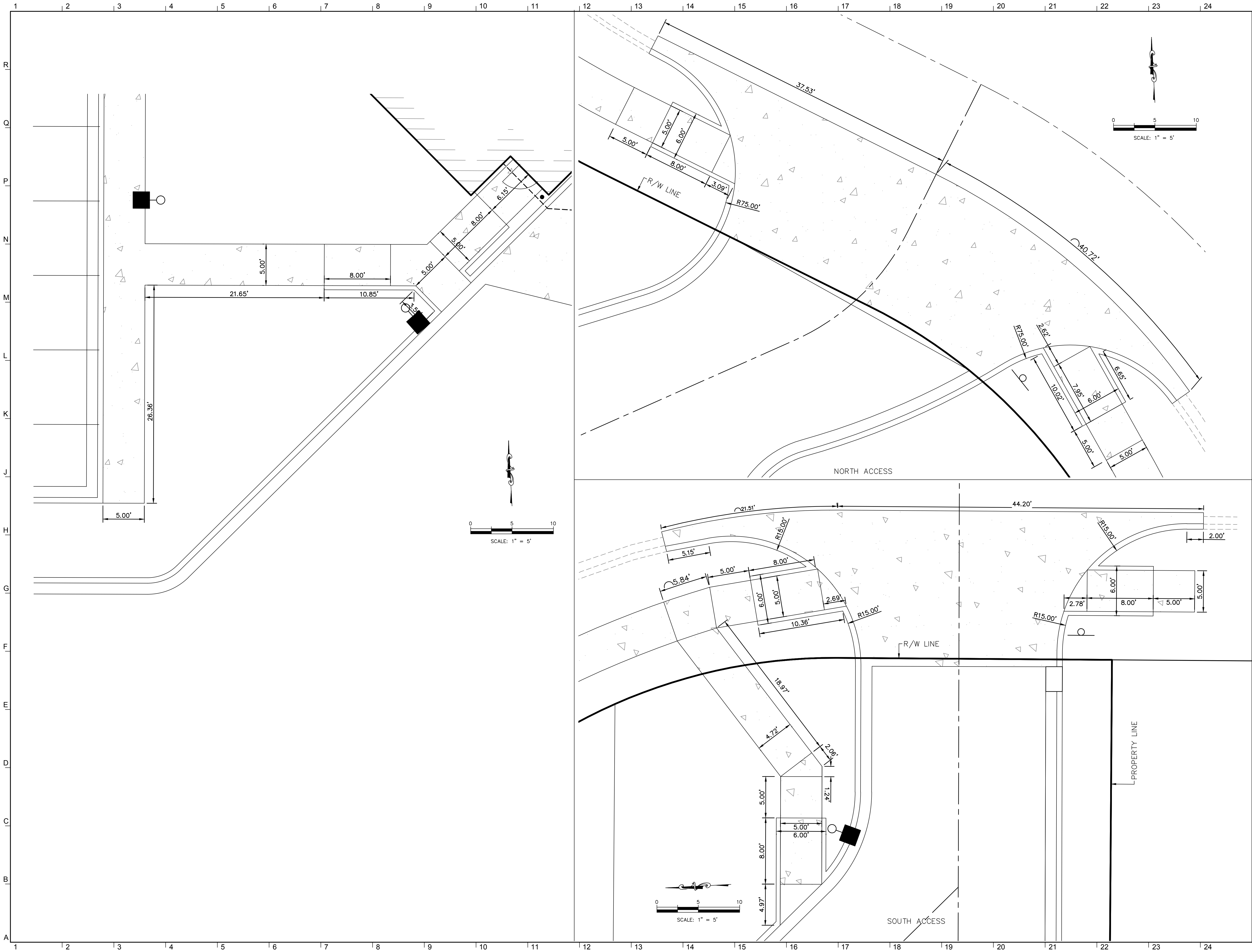
DIMENSION PLAN

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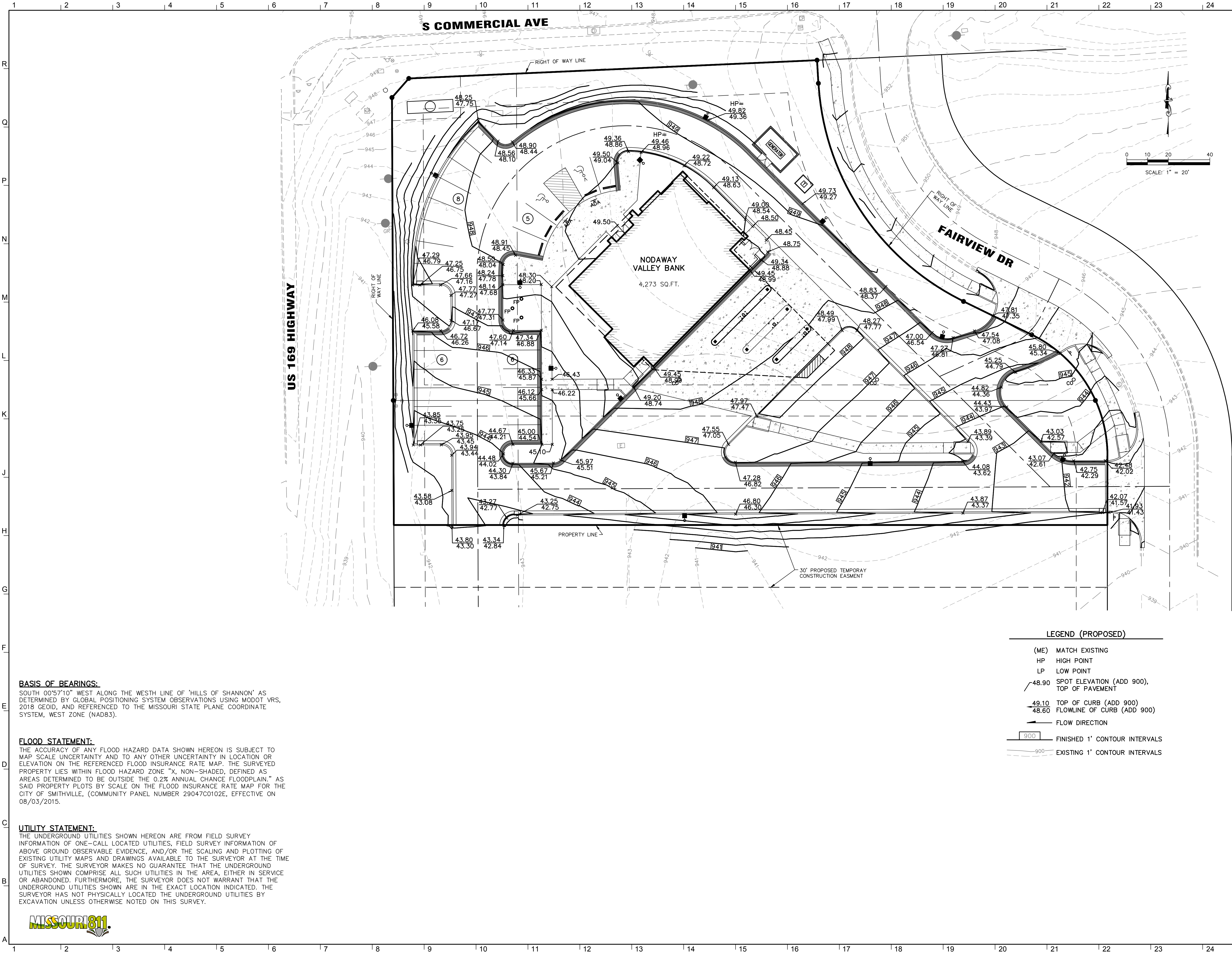
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DIMENSION PLAN

**C2.2**

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**BASIS OF BEARINGS:**  
SOUTH 00°57'10" WEST ALONG THE WEST LINE OF 'HILLS OF SHANNON' AS DETERMINED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS USING MODOT VRS, 2018 GEOID, AND REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD83).

**FLOOD STATEMENT:**  
THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF SMITHVILLE, (COMMUNITY PANEL NUMBER 29047C0102E, EFFECTIVE ON 08/03/2015).

**UTILITY STATEMENT:**  
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.



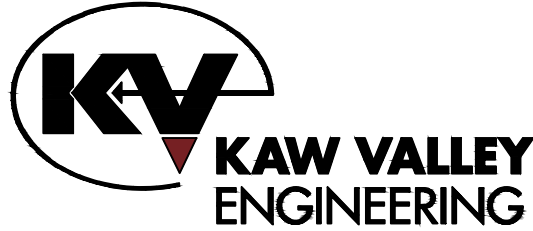
- LEGEND (PROPOSED)**
- (ME) MATCH EXISTING
  - HP HIGH POINT
  - LP LOW POINT
  - 48.90 SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
  - 49.10 TOP OF CURB (ADD 900)
  - 48.60 FLOWLINE OF CURB (ADD 900)
  - FLOW DIRECTION
  - 900 FINISHED 1' CONTOUR INTERVALS
  - 900 EXISTING 1' CONTOUR INTERVALS

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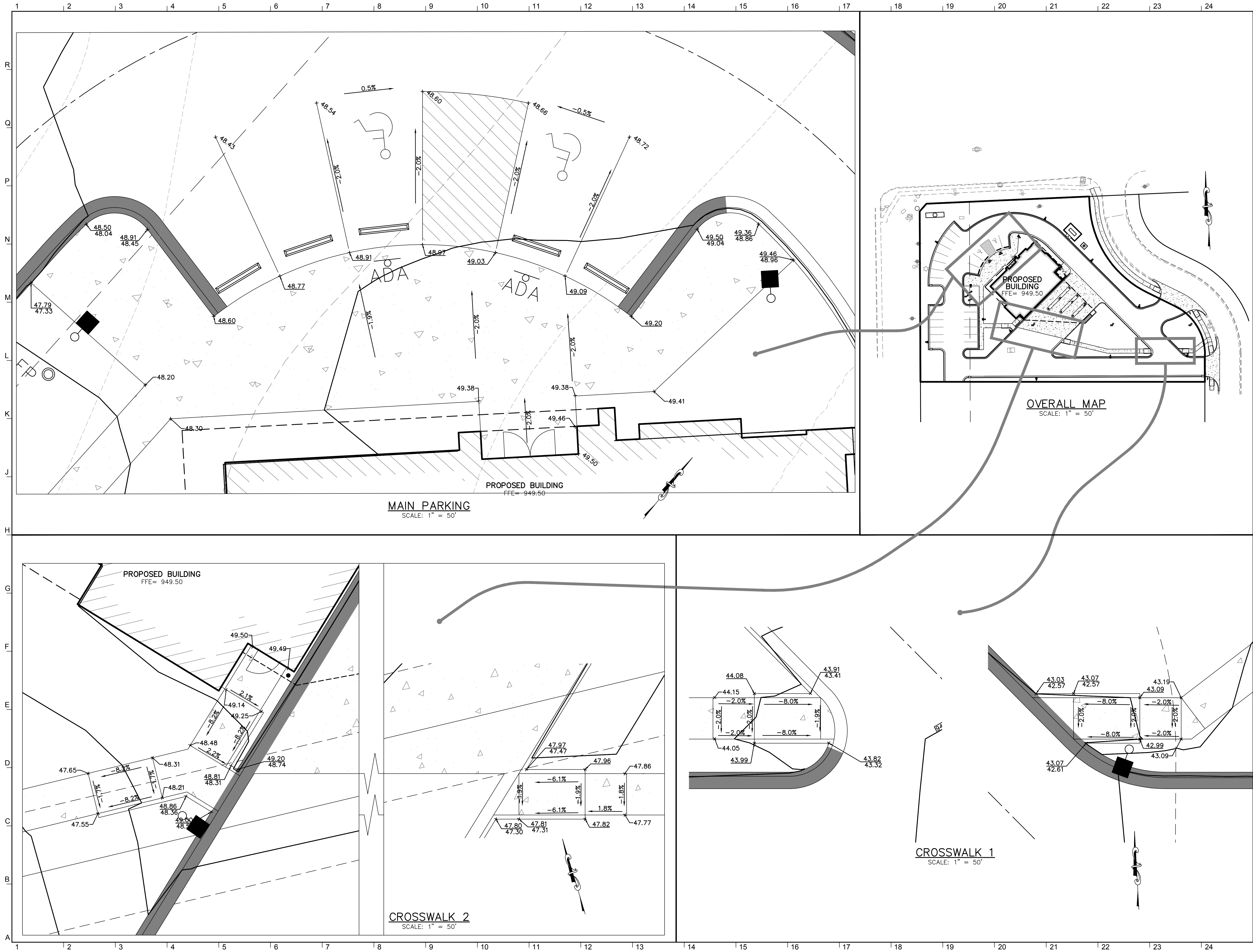
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GRADING PLAN

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GRADING PLAN

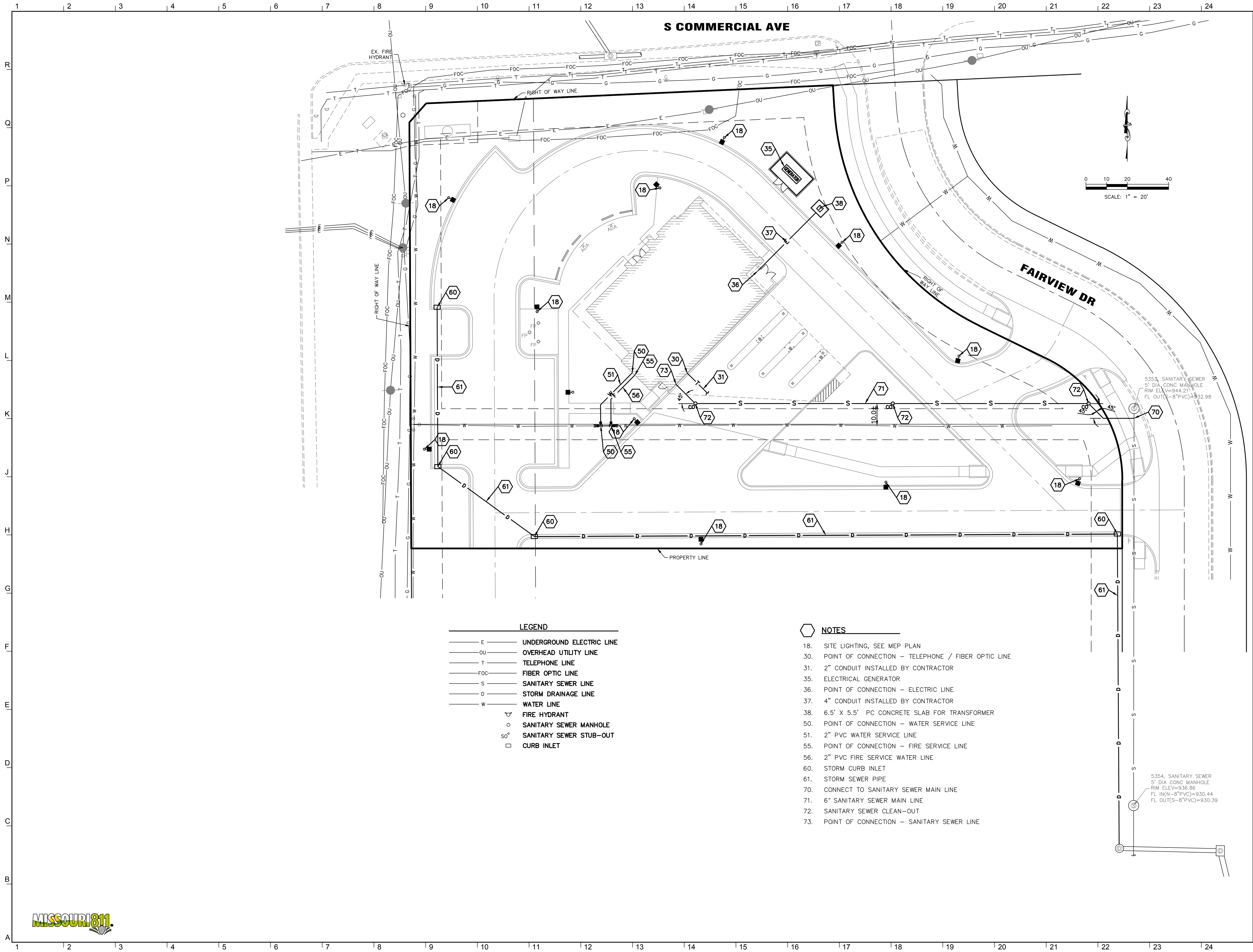
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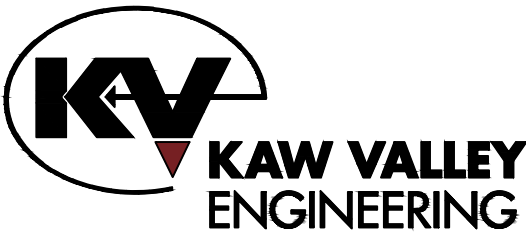
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**FOR REVIEW**

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UTILITY PLAN

**C4.0**

Project Number: 2023.169

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EROSION CONTROL NOTES:

1. PROPERTY LINE IS LIMITS OF CONSTRUCTION EXCEPT AS SHOWN.
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS AND DURING APPROPRIATE PHASING AS CONSTRUCTION PROGRESSES.
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION. BUILDERS AND OR DEVELOPER TO MAINTAIN EROSION CONTROL AND SILT CONTROL UPON COMPLETION OF THIS PROJECT.
4. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
5. SEDIMENTATION BARRIERS ARE TO BE INSTALLED AS SHOWN AND AT ANY ADDITIONAL AREAS OF CONCENTRATED FLOWS NOT SHOWN ON PLANS.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE FILTERS, OR SILT FENCE, OR STRAW BALES (PRIOR TO PAVING PLACEMENT). AFTER PAVEMENT IS IN PLACE, PROVIDE FILTER PROTECTION THAT CANNOT BE WASHED INTO INLETS OR WASHED AWAY. STRAW/HAY BALES WILL NOT BE ALLOWED ON CONCRETE OR ASPHALT PAVING.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS. ALL SEDIMENT CONTROL MEASURES TO BE INSPECTED AND REPAIRED IMMEDIATELY AND ON A REGULAR BASIS AFTER ALL RAIN STORMS.
10. RIPRAP IS TO BE INSTALLED AT AREAS OF CONCENTRATED FLOW (I.E. CULVERT OUTLETS).
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY TO PREVENT SEDIMENT FROM ENTERING STORM DRAINS, STREETS, AND WATERWAYS.
12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
13. TEMPORARY SEDIMENT FENCE ESTABLISHED ON PROJECTS THAT ARE NOT EXPECTING IMMEDIATE DEVELOPMENT (I.E.- INTERCEPTOR SEWERS, OFFSITE IMPROVEMENTS, ETC.) EROSION CONTROL MEASURES ARE TO BE REMOVED BY CONTRACTOR AS SOON AS ADEQUATE VEGETATION IS ESTABLISHED.
14. MUD, SILT, AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL.
15. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF INFRASTRUCTURE AND BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES. NOTE: ALTHOUGH EXTENSIVE EFFORT IS PUT INTO THE DESIGN OF THE EROSION CONTROL PLAN BY THE ENGINEER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO ENSURE THAT ANY ADDITIONAL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED AT NO ADDITIONAL COST TO THE OWNER.
16. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE(S) AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING THE SITE AND AS SHOWN ON PLANS.
17. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED, SODDED, OR LANDSCAPED, FLAT LOTS WILL NOT REQUIRE SEEDING BUT ALL SLOPES, DISTURBED AREAS AND STREET RIGHT-OF-WAYS WILL BE SEEDED.
18. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
19. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.
20. ROCK LINING (RIPRAP) SHALL BE DURABLE STONE CONTAINING A COMBINED TOTAL OF NOT MORE THAN 10 PERCENT OF FINE SAND, SHALE AND NON-DURABLE ROCK. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A MINIMUM WEIGHT OF 150 POUNDS OR MORE PER CUBIC FOOT.
21. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING, ADJACENT TO OR DOWNSTREAM FROM PROPERTY, BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
22. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.
23. ALL FUELING FACILITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SPILL PREVENTION, CONTROL AND COUNTER MEASURES.
24. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED (CHUTE, TOOLS, ETC.) AT A CONTRACTOR DEFINED LOCATION. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.
25. DEVELOPER IS RESPONSIBLE FOR HAVING LOT BUILDERS FOLLOW THE GUIDELINES OF "CONTROLLING EROSION WHEN BUILDING YOUR HOME" PROVIDED BY MISSOURI DEPARTMENT OF HEALTH AND ENVIRONMENT.
26. EROSION CONTROL STRAW/FIBER WATTLES TO BE INSTALLED 1'-0" BEHIND CURB & GUTTER UPON COMPLETION OF BACKFILL OF CURB IN ALL AREAS WHERE SLOPES FROM LOT DRAIN TOWARDS CURB. UPON COMPLETION OF FINAL GRADING THE TOES OF ALL EMBANKMENTS IN EXCESS OF TWO FEET IN HEIGHT WILL HAVE EROSION CONTROL SEDIMENT FENCE INSTALLED.
27. EROSION CONTROL SEDIMENT FENCE OR OTHER STRUCTURE MUST BE PLACED TO CONTROL RUNOFF DURING LOT DEVELOPMENT (BY OTHERS).

PERMANENT SEEDING

SEE SECTION 02930 OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS.

TEMPORARY SEEDING

TO PROVIDE PROMPT EROSION CONTROL ON PROJECT TEMPORARY SEEDING MAY BE REQUIRED WHICH WILL DEPEND ON THE CONTRACTORS WORK SCHEDULE. TEMPORARY SEEDING WILL BE REQUIRED IN THE FOLLOWING AREAS:

1. IN SLOPES AND AREAS OF CONCENTRATED FLOW WITHIN 28 DAYS OF ROUGH GRADING.
2. IN AREAS THAT REQUIRE SEEDING BUT IS NOT WITHIN THE SEASON FOR PERMANENT SEEDING AS PER THE TECHNICAL SPECIFICATIONS.

PLANT SELECTION - ANNUAL RYE GRASS, WHEAT OR OATS FOR TEMPORARY SEEDING  
SEEDING - EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. ANNUAL RYE GRASS SHOULD BE APPLIED AT A RATE OF 120 LBS/ACRE, WHEAT OR OATS SHOULD BE APPLIED AT A RATE OF 100 LBS/ACRE. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN. HAND BROADCASTING IS NOT RECOMMENDED BECAUSE OF THE DIFFICULTY IN ACHIEVING A UNIFORM DISTRIBUTION. SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER. HYDROSEED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH. MULCHING - THE USE OF MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH CONDITIONS SUCH AS SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE), SLOPES STEEPER THAN 3:1, EXCESSIVELY HOT OR DRY WEATHER, ADVERSE SOILS (SHALLOW, ROCKY, HIGH IN CLAY OR SAND), AND AREAS RECEIVING CONCENTRATED FLOW. IF AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AS IN CHANNELS, ANCHOR MULCH WITH NETTING. MAINTENANCE - RESEED, REFERTILIZE AND MULCH AREAS OF INSUFFICIENT GROWTH. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

LEGEND:

- LIMITS OF DISTURBED AREA
- TEMPORARY GRAVEL CONSTRUCTION, ENTRANCE AND CONCRETE WASHOUT (REF. APWA DETAIL ESC-01)
- TEMPORARY SILTATION FENCE (REF. APWA DETAIL ESC-03)
- INLET FILTER PROTECTION (REF. APWA DETAIL ESC-06)
- AREA INLET PROTECTION (REF. APWA DETAIL ESC-07)
- EXISTING CONTOURS
- PROPOSED CONTOURS

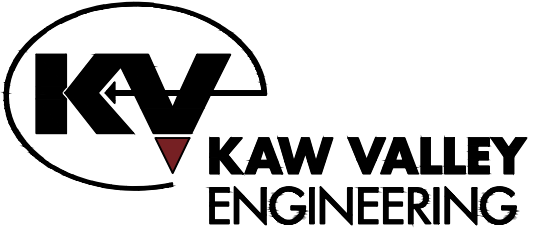
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817 Wyanotte Kansas City Missouri 64105 816.421.8200 gastingerwalker.com

Civil Engineer  
Kaw Valley Engineering  
8040 North Oak Trafficway  
Kansas City, MO 64118  
816-468-5858

MEP Engineer  
PKMR Engineers  
13300 W. 98th Street  
Lenexa, KS 66215  
913-492-2400

Structural Engineer  
Apex Engineers, Inc.  
1625 Locust Street  
Kansas City, MO 64108  
816-421-3222



Nodaway Valley Bank - Smithville Branch

1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank

P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

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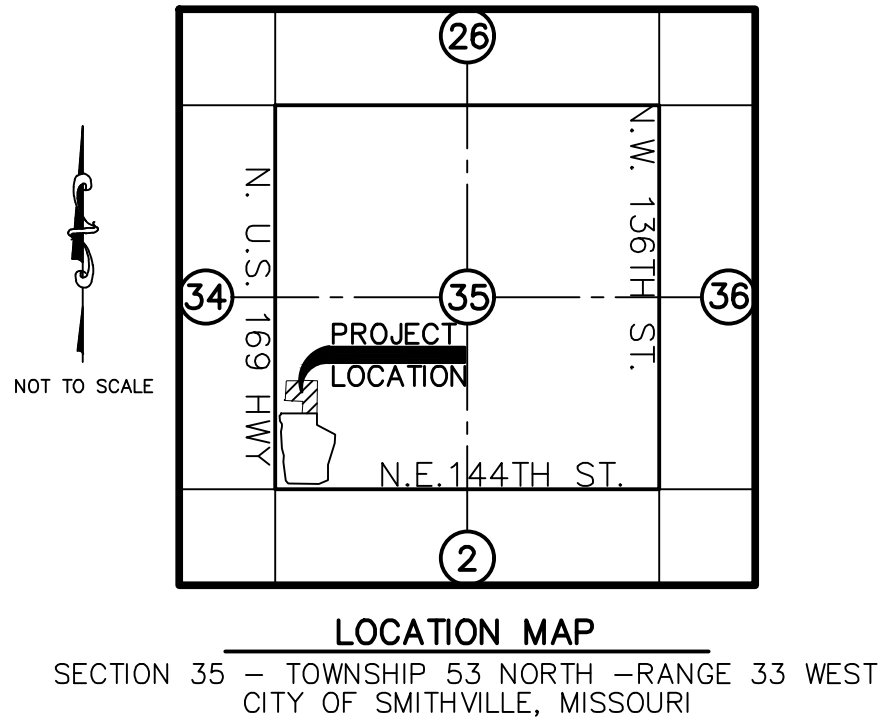
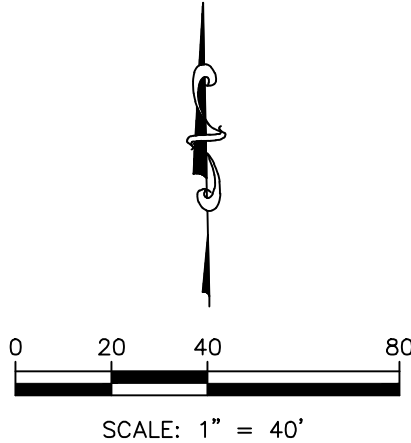
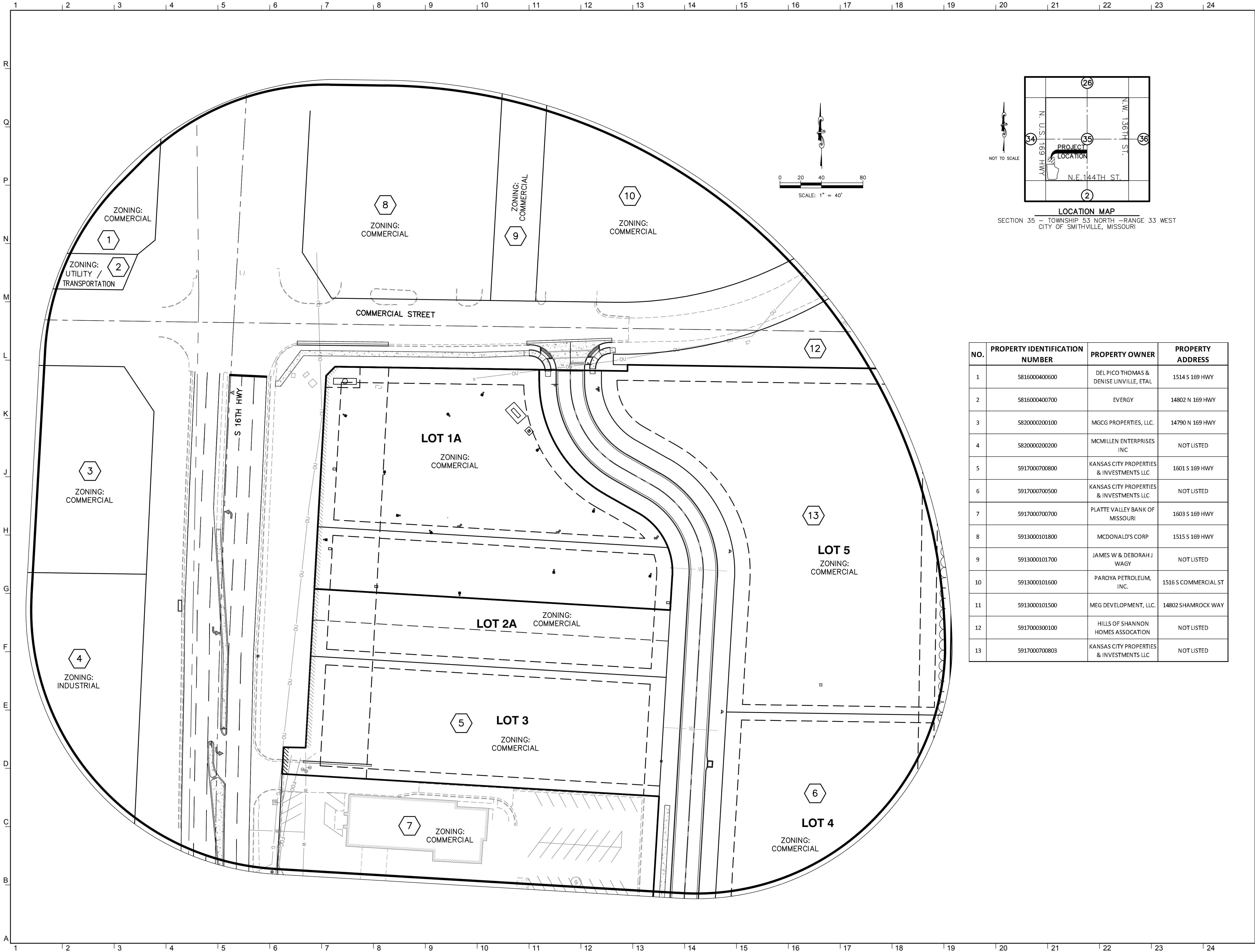
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EROSION CONTROL PLAN

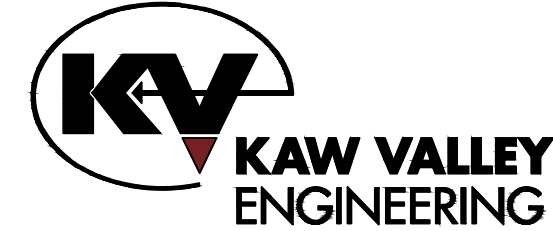
C5.0

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NO.	PROPERTY IDENTIFICATION NUMBER	PROPERTY OWNER	PROPERTY ADDRESS
1	5816000400600	DEL PICO THOMAS & DENISE LINVILLE, ETAL	1514 S 169 HWY
2	5816000400700	EVERGY	14802 N 169 HWY
3	5820000200100	MCGG PROPERTIES, LLC.	14790 N 169 HWY
4	5820000200200	MCMILLEN ENTERPRISES INC	NOT LISTED
5	5917000700800	KANSAS CITY PROPERTIES & INVESTMENTS LLC	1601 S 169 HWY
6	5917000700500	KANSAS CITY PROPERTIES & INVESTMENTS LLC	NOT LISTED
7	5917000700700	PLATTE VALLEY BANK OF MISSOURI	1603 S 169 HWY
8	5913000101800	MCDONALD'S CORP	1515 S 169 HWY
9	5913000101700	JAMES W & DEBORAH J WAGY	NOT LISTED
10	5913000101600	PAROYA PETROLEUM, INC.	1516 S COMMERCIAL ST
11	5913000101500	MEG DEVELOPMENT, LLC.	14802 SHAMROCK WAY
12	5917000300100	HILLS OF SHANNON HOMES ASSOCIATION	NOT LISTED
13	5917000700803	KANSAS CITY PROPERTIES & INVESTMENTS LLC	NOT LISTED



Nodaway Valley Bank - Smithville Branch  
1601 N 169 Hwy  
Smithville, MO 64089

Nodaway Valley Bank  
P.O. Box 7315  
St. Joseph, MO 64507  
816-364-5678

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250' SURROUNDING AREA

C6.0  
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Apex Engineers, Inc.  
1625 Locust Street  
Kansas City, MO 64108  
816-421-3222

# COMMERCIAL AVE.

US-169 HWY



## 1 LANDSCAPE PLAN

SCALE: 1"=20'-0"

## Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
  - Creeping groundcover shall be a minimum of 6" from paving edge.
  - All trees shall be a minimum of 3' from paving edge.
  - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
  - All shrubs shall be a minimum of 2' from paved edge.
- Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.
- In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

### Materials:

- Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
- Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

### Installation:

- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
- After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
- Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
- Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
- Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

## Landscape Calculations

### Building Buffer Zones.

- For each sixty (60) linear feet of the building buffer zone, a minimum of one (1) deciduous tree is required.
- For each seventy (70) linear feet of the building buffer zone, a minimum of one (1) ornamental flowering tree is required.
- For each seventy-five (75) linear feet of the building buffer zone, a minimum of three (3) shrubs or low stature evergreen bushes is required.

### Requirements Met

### Parking Buffer Zones

- For each sixty (60) linear feet of the parking buffer zone, one (1) deciduous or one (1) ornamental flowering tree is required.
- For each fifty (50) linear feet of the parking buffer zone, one (1) shrub or low stature evergreen bush is required.

### Requirements Met

### Street Landscaping

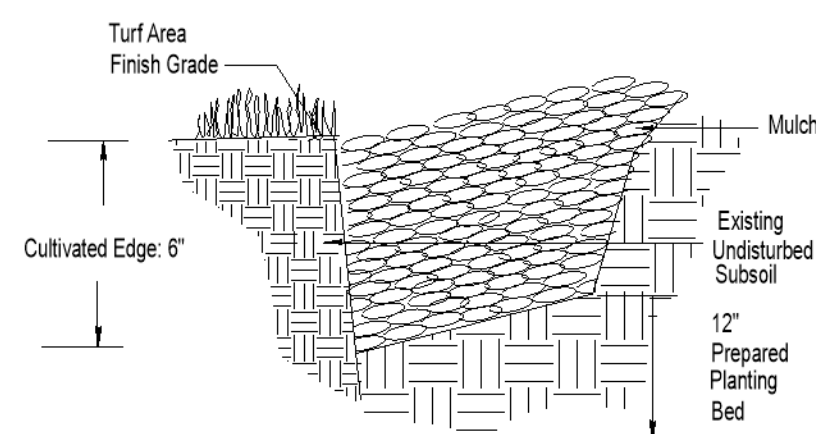
- In areas where a parking lot is adjacent to the street, the plan shall include low hedges, ornamental grasses or low walls and one (1) ornamental flowering tree for every seventy-five (75) linear feet of property line. The number, size and spacing of low features and/or plantings shall be such that the parking lot shall be effectively screened from view without obstructing traffic movements from and to the lot.
- In areas where the building is adjacent to the street, there shall be one (1) large stature deciduous tree or two (2) ornamental flowering trees for every seventy-five (75) linear feet and three (3) shrubs for every forty (40) linear feet of property line. Attractive clustering of the required plantings is encouraged.

### Requirements Met

### Landscape Screening

Screening Of Trash Dumpsters And Storage Containers. All trash dumpsters and storage containers shall be screened on all sides with an enclosure equal to the height of the containers. Each enclosure shall consist of solid walls and shall match the color, materials and design of the building.

### Requirement Met



## 2 CULTIVATED EDGE DETAIL

SCALE: NTS

## Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
<b>OVERSTORY TREES</b>							
	5	Olethia triacanthos "Shademaster"	Shademaster Honeylocust	2.5"	6'	min. clear, ground to canopy	
	3	Acer x truncatum "Warrenred"	Pacific Sunset Maple	2.5"	6'	min. clear, ground to canopy	
<b>EVERGREEN TREES</b>							
	0	Thuja plicata	Green Giant Arborvitae		6' ht.		symmetrical pyramidal form
	6	Juniperus chinensis "Keteleeri"	Keteleeri Juniper		6' ht.		symmetrical pyramidal form
<b>ORNAMENTAL TREES</b>							
	5	Cercis canadensis	Eastern Redbud		1.5"		
<b>DECIDUOUS SHRUBS/GRASSES</b>							
	5	Spiraea x bumalda "Limemound"	Limemound spirea	3 gal.			Plant @ 3' O.C.
	12	Hydrangea paniculata "Quick Fire"	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	0	Syringa X "Penda"	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
<b>EVERGREEN SHRUBS</b>							
	31	Juniperus chinensis "Sea Green"	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	14	Juniperus chinensis "Gold Coast"	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
	0	Juniperus chinensis "Spartan"	Spartan Juniper		5' ht.		Symmetrical pyramidal form
<b>EXISTING TREES TO BE REMOVED</b>							
<b>EXISTING TREES/SHRUBS TO BE PRESERVED</b>							

**TREE PLANTING NOTES:**  
1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMES, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN

2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE

3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE

4) APPLY 4" THK WOOD MULCH, DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK

5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL

6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)

7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL. TYP

### STAKING REQUIREMENTS:

- WIRE / CABLE SHALL BE GALV. 12-GAUGE
- TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
- STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

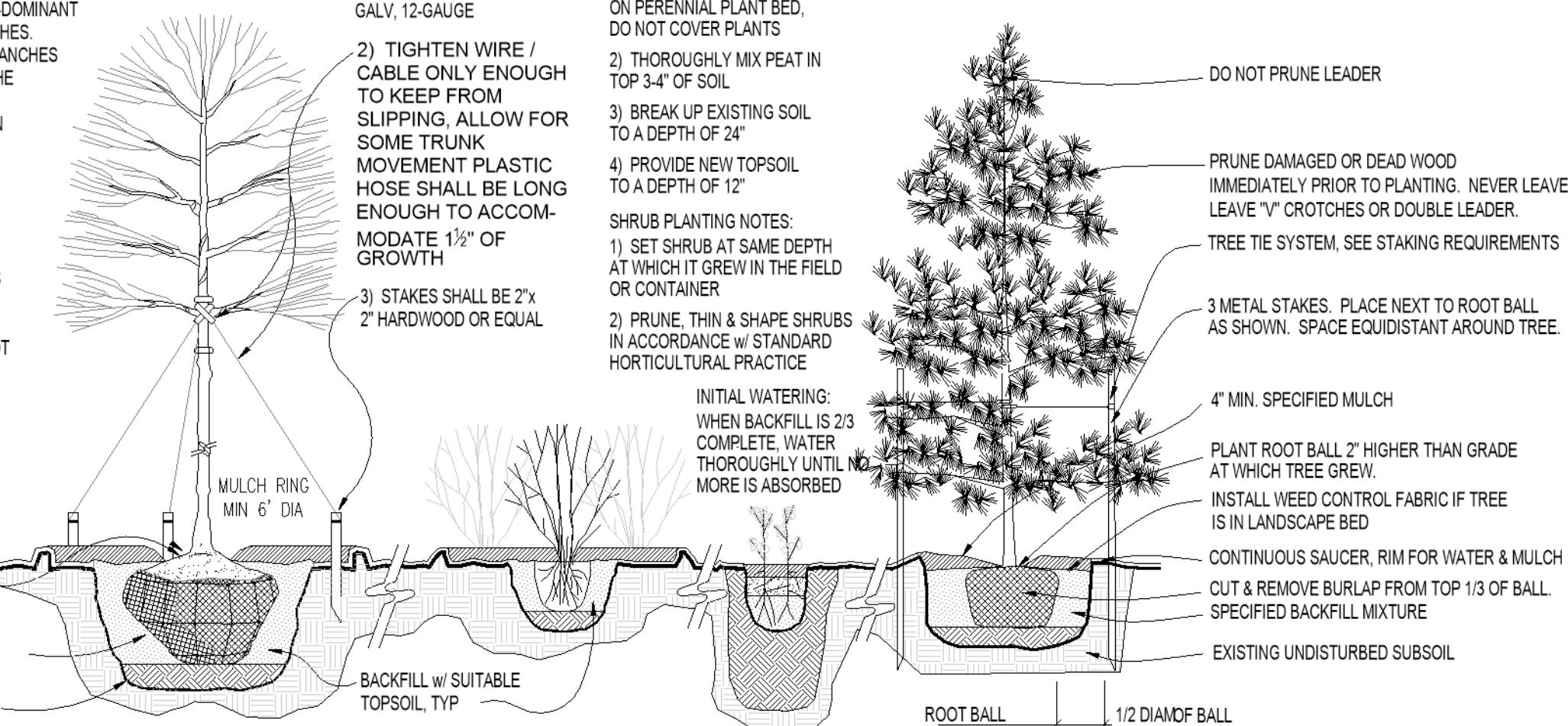
### PERENNIAL PLANTING NOTES:

- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED, DO NOT COVER PLANTS
- THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
- BREAK UP EXISTING SOIL TO A DEPTH OF 24"
- PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

### SHRUB PLANTING NOTES:

- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
- PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

**INITIAL WATERING:**  
WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



## 3 PLANTING INSTALLATION DETAILS

SCALE: NTS

**MEIER**  
LANDSCAPE  
ARCHITECTURE  
15245 Metcalf Ave.  
Overland Park, KS 66223  
913.787.2817



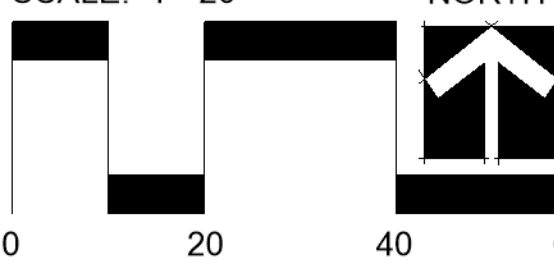
### CLIENT

Nodaway Valley Bank

### PROJECT

Nodaway Valley Bank  
SE Cor US-169 Hwy and  
Commercial Ave.  
Smithville MO

SCALE: 1"=20'

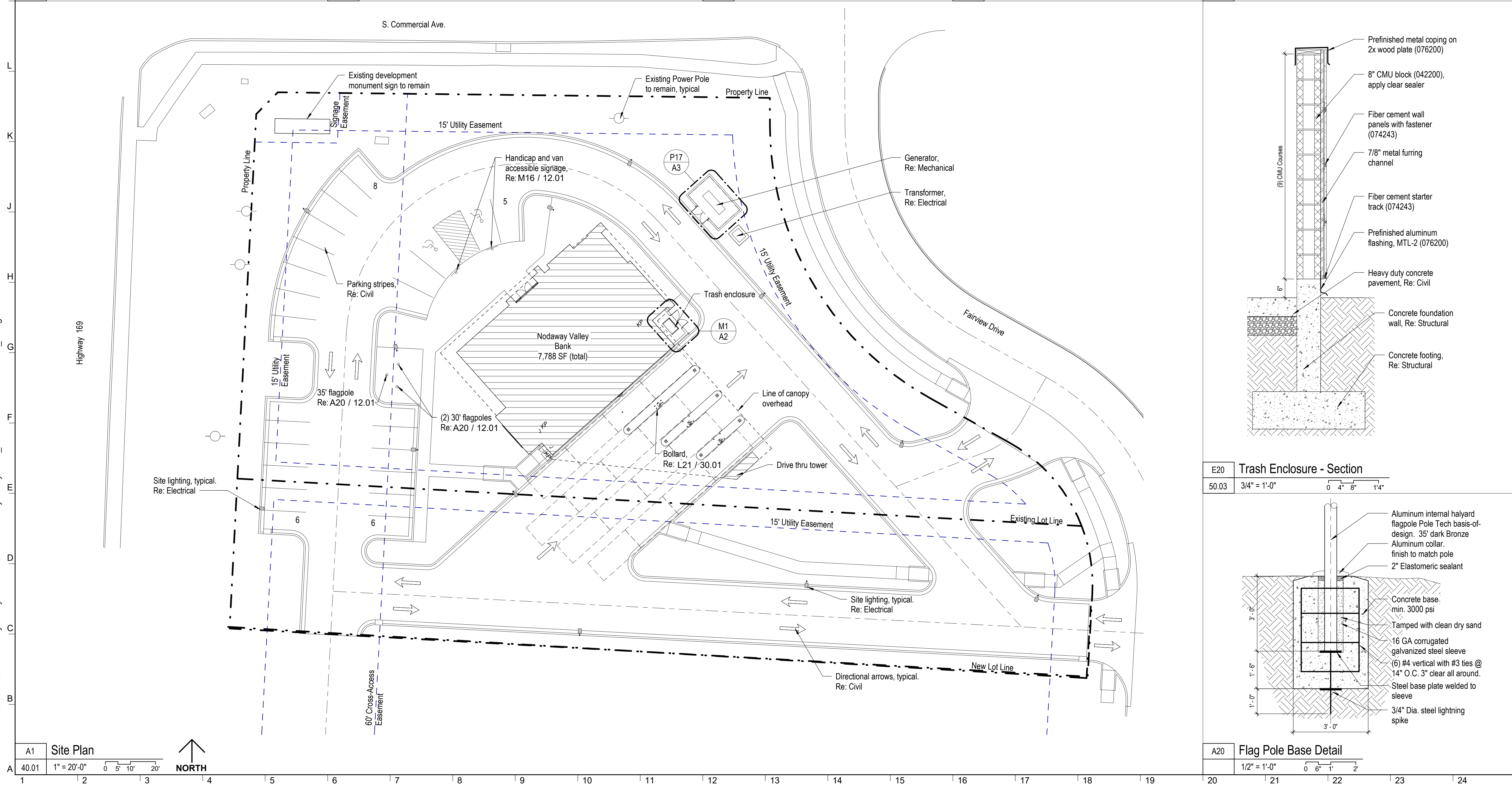


Date: 6.21.2024

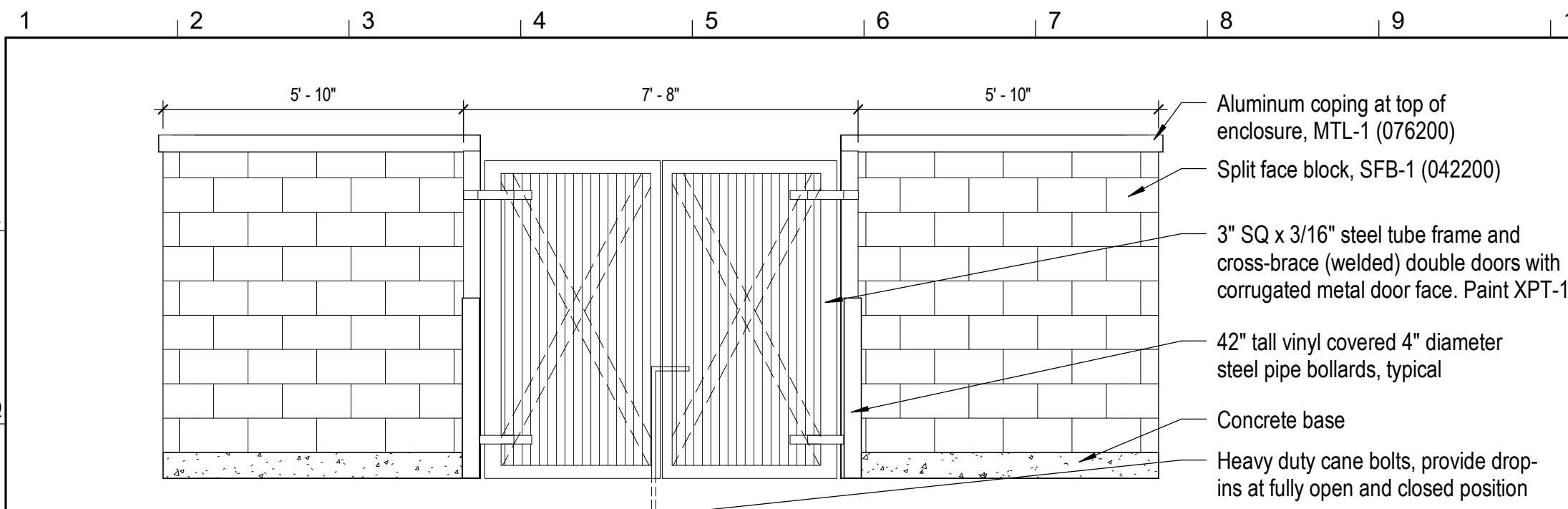
Project #: 1160

Landscape Plan

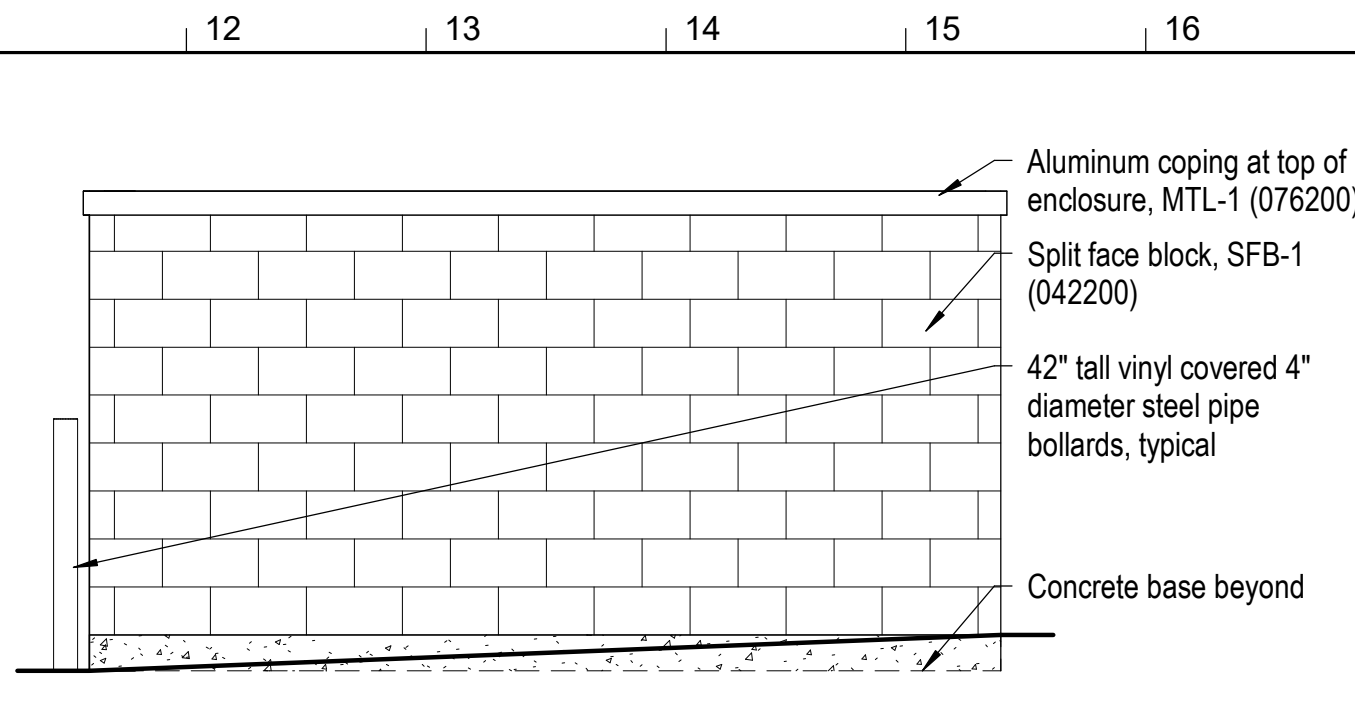
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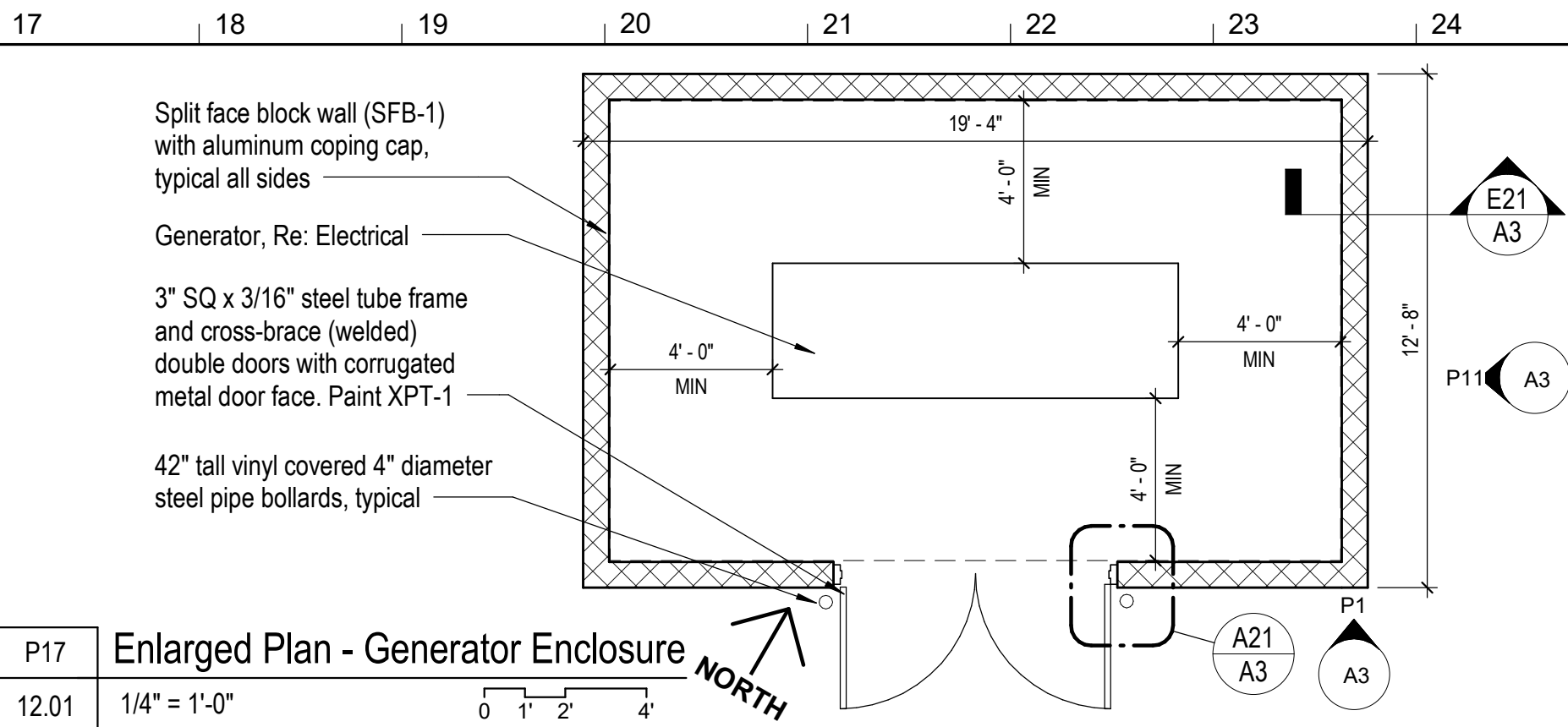
Autodesk Docs://2023.169 - Nodaway Valley Bank/2023.169 Nodaway Valley Bank\_Smithville 2023 CENTRAL\_kstiegleE2F9.rvt



P1 Generator Enclosure - Front Elevation  
30.01 3/8" = 1'-0" 0 8' 14' 28'



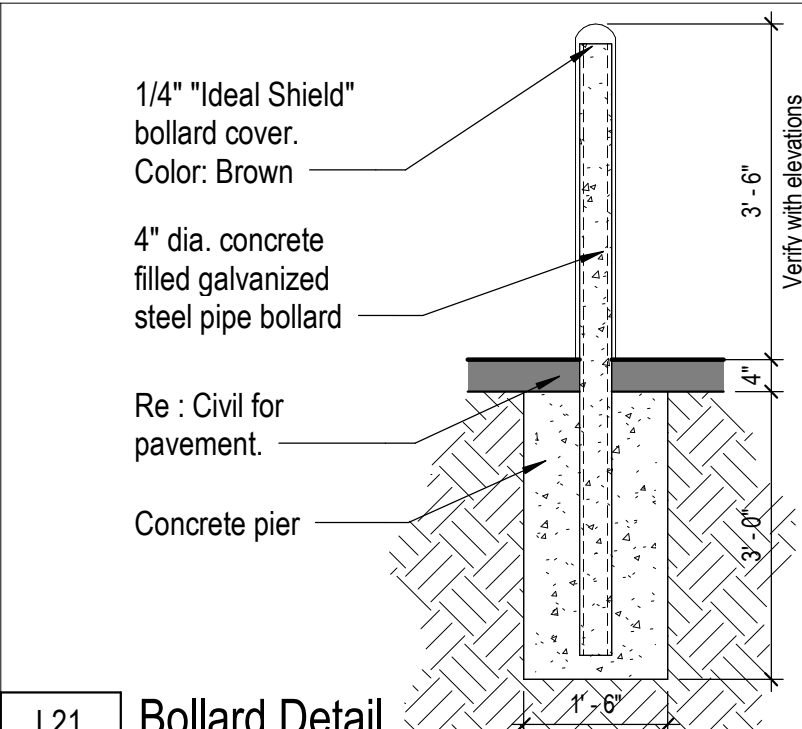
P11 Generator Enclosure - Side Elevation  
30.01 3/8" = 1'-0" 0 8' 14' 28'



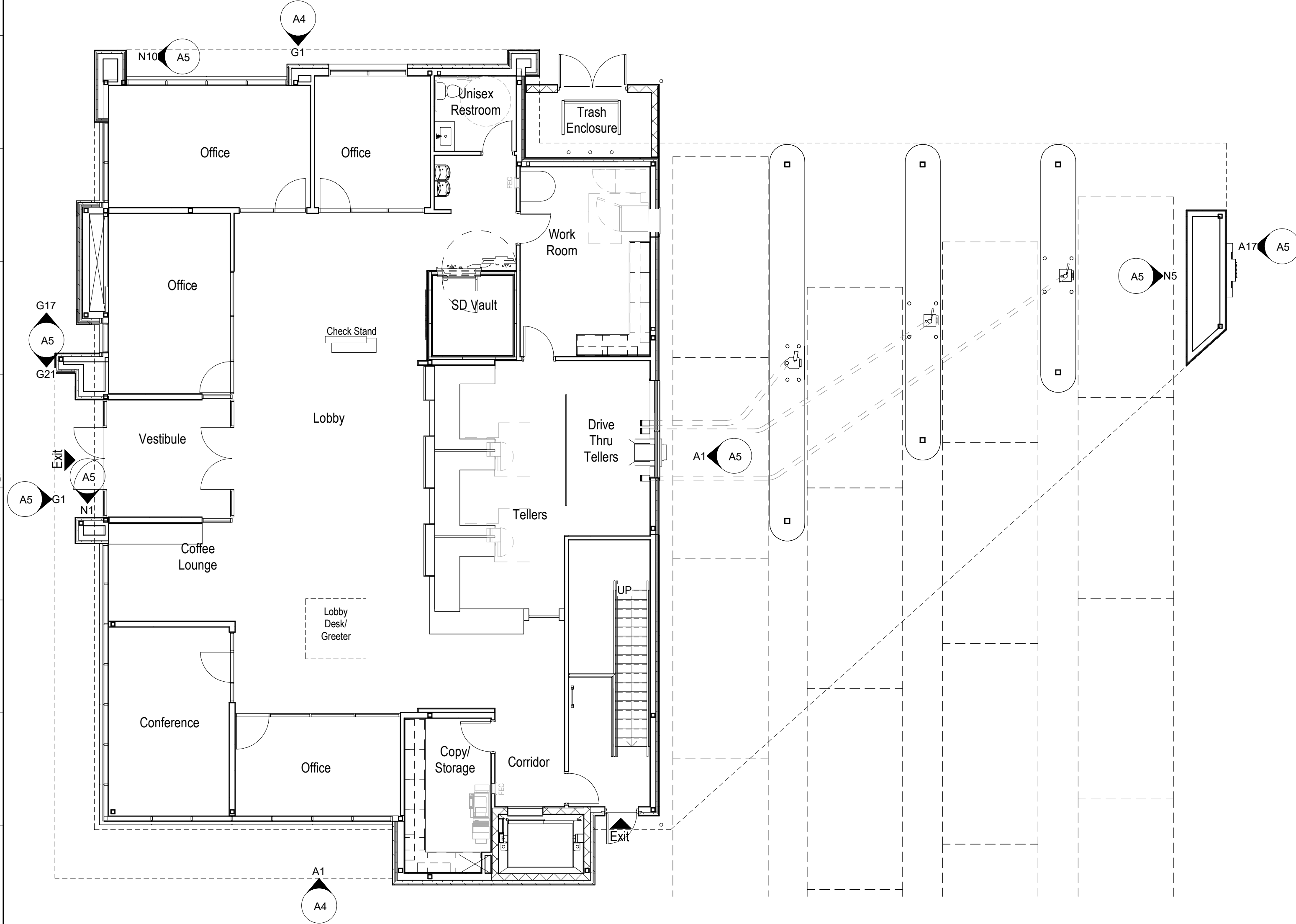
P17 Enlarged Plan - Generator Enclosure  
12.01 1/4" = 1'-0" 0 1' 2' 4'

**First Floor Occupancy**  
Business Gross SF: 3,950 SF  
Business Occupant Load: 150 SF/Occupant  
27 Occupants

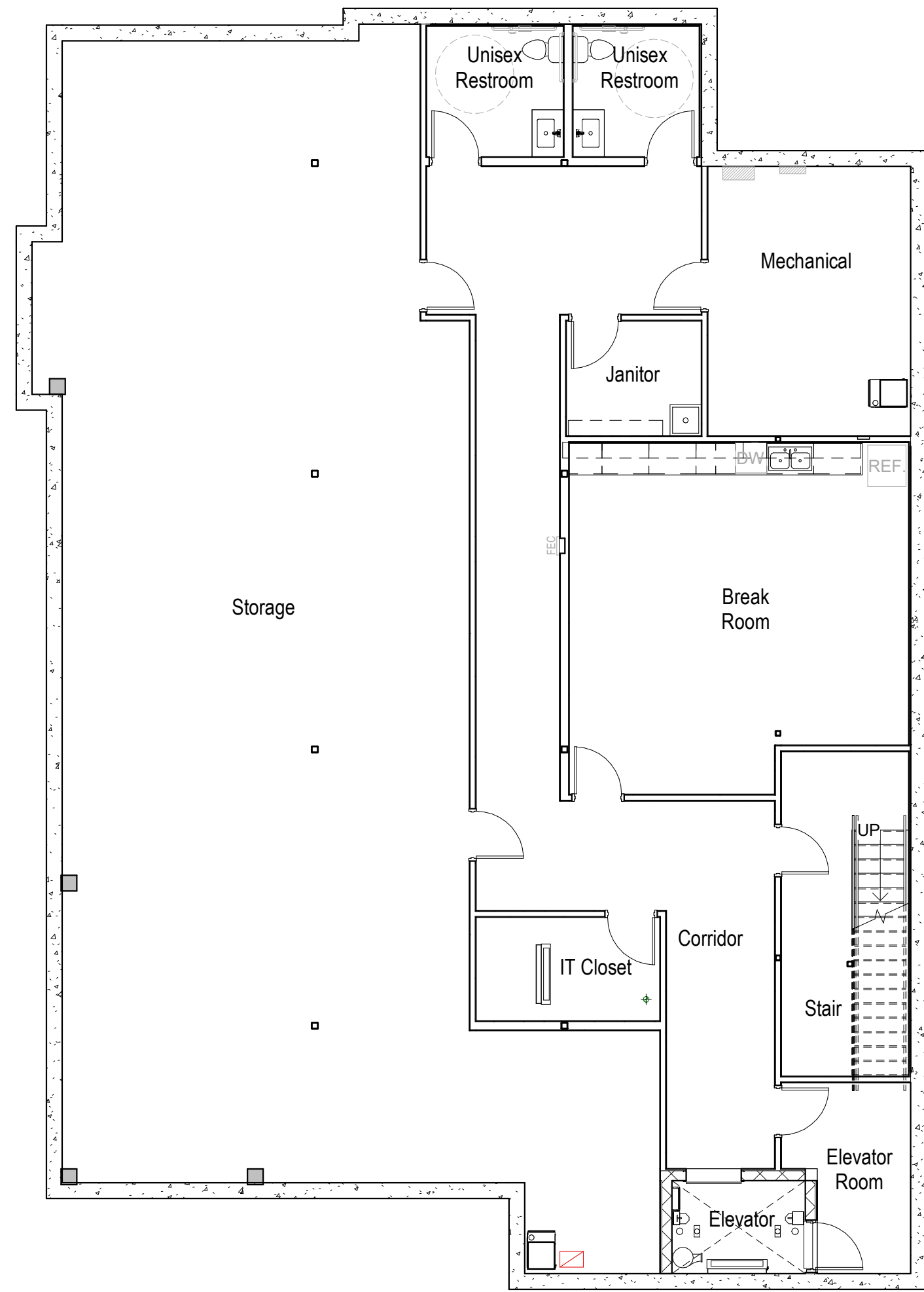
**Basement Occupancy**  
Business Gross SF: 468 SF  
Business Occupant Load: 150 SF/Occupant  
4 Occupants  
  
Storage Gross SF: 3,370 SF  
Storage Occupant Load: 300 SF/Occupant  
12 Occupants  
  
Total SF: 3,838 SF  
Total: 16 Occupants



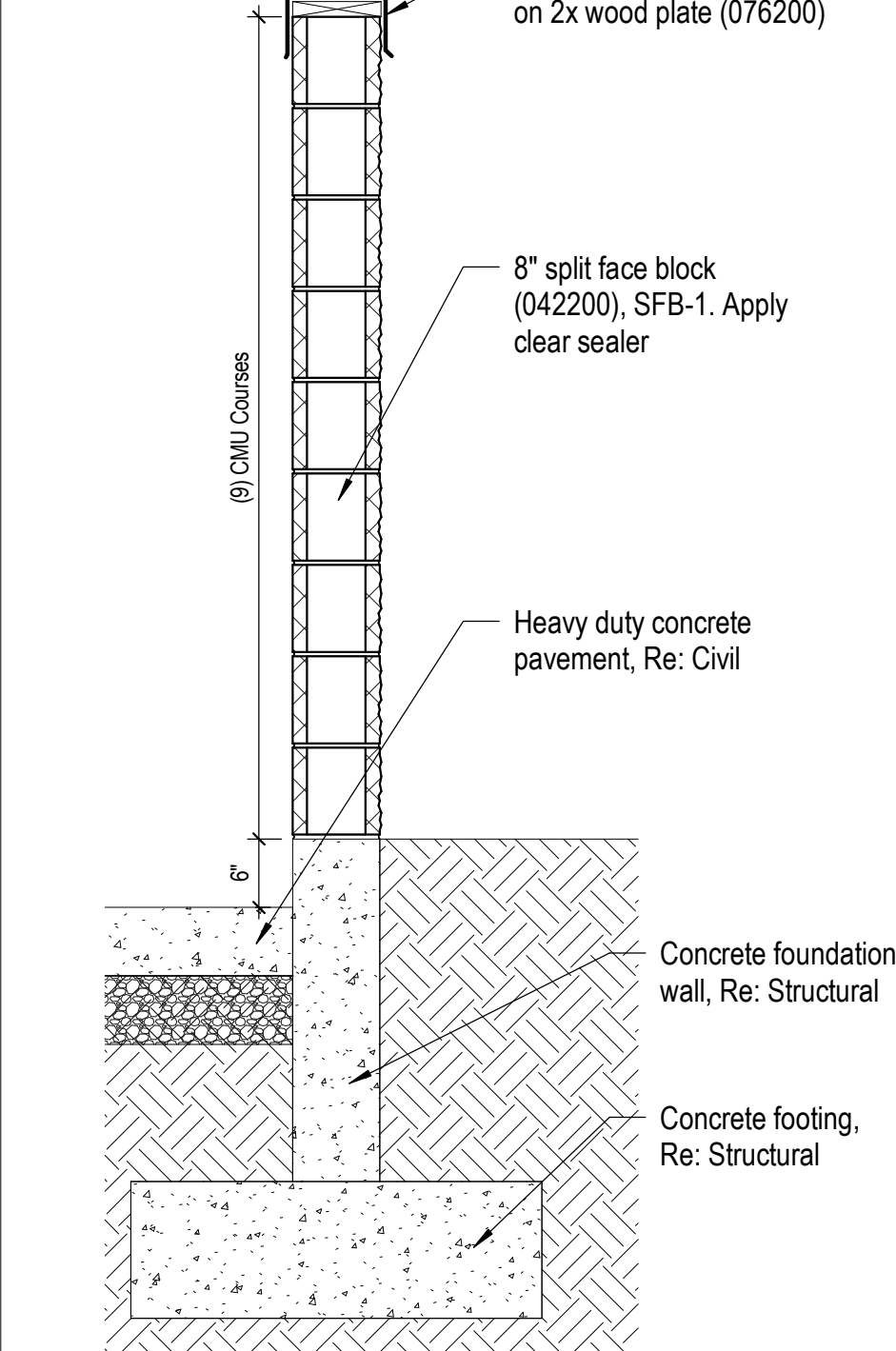
L21 Bollard Detail  
1/2" = 1'-0" 0 6' 1' 2'



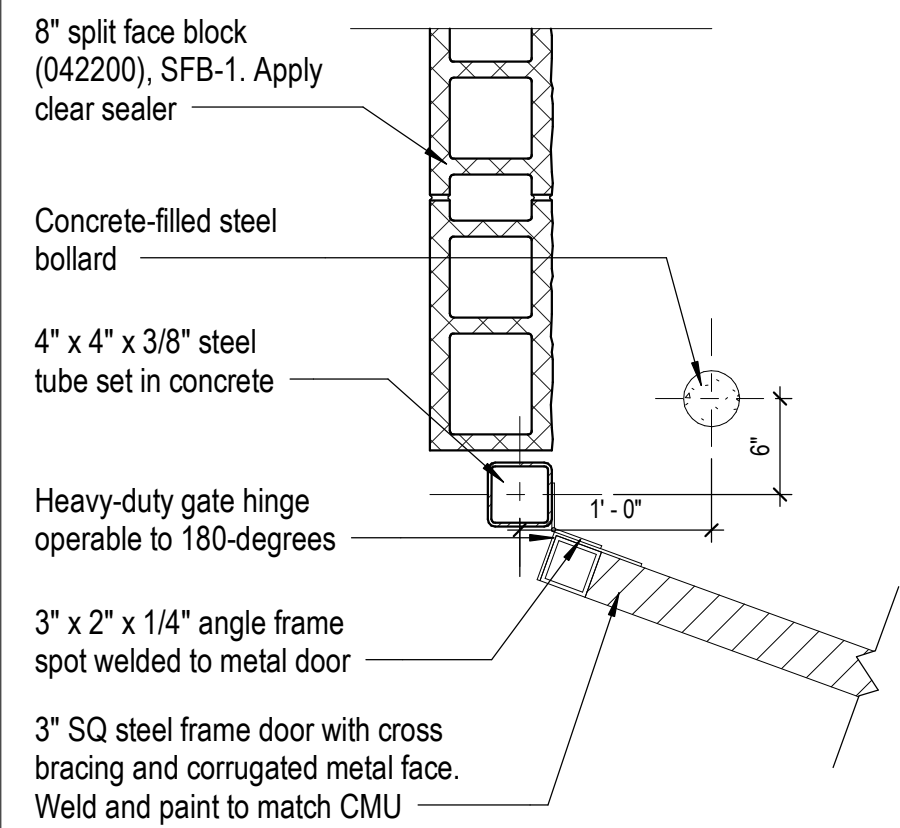
A1 First Floor Plan  
40.01 1/8" = 1'-0" 0 2' 4' 8'



A14 Basement Floor Plan  
42.01 1/8" = 1'-0" 0 4' 8'



E21 Wall Section - Generator Enclosure  
A3 3/4" = 1'-0" 0 4' 8' 14"



A21 Jamb Detail - Generator Enclosure  
A3 1" = 1'-0" 0 3' 6' 1'

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## Nodaway Valley Bank - Smithville Branch

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Smithville, MO 64089

Nodaway Valley Bank

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St. Joseph, MO 64507  
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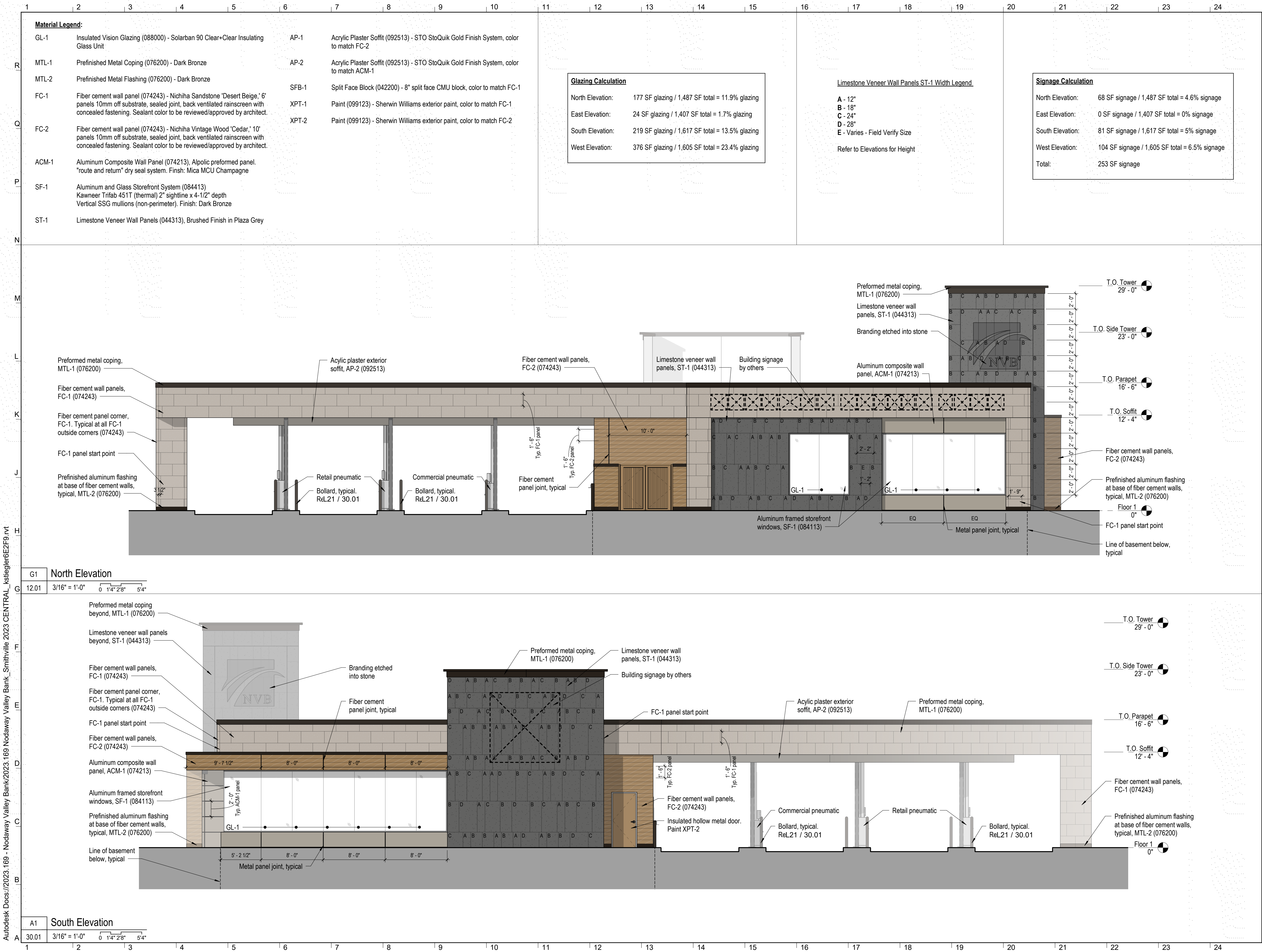
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Floor Plans & Site Details

**A3**

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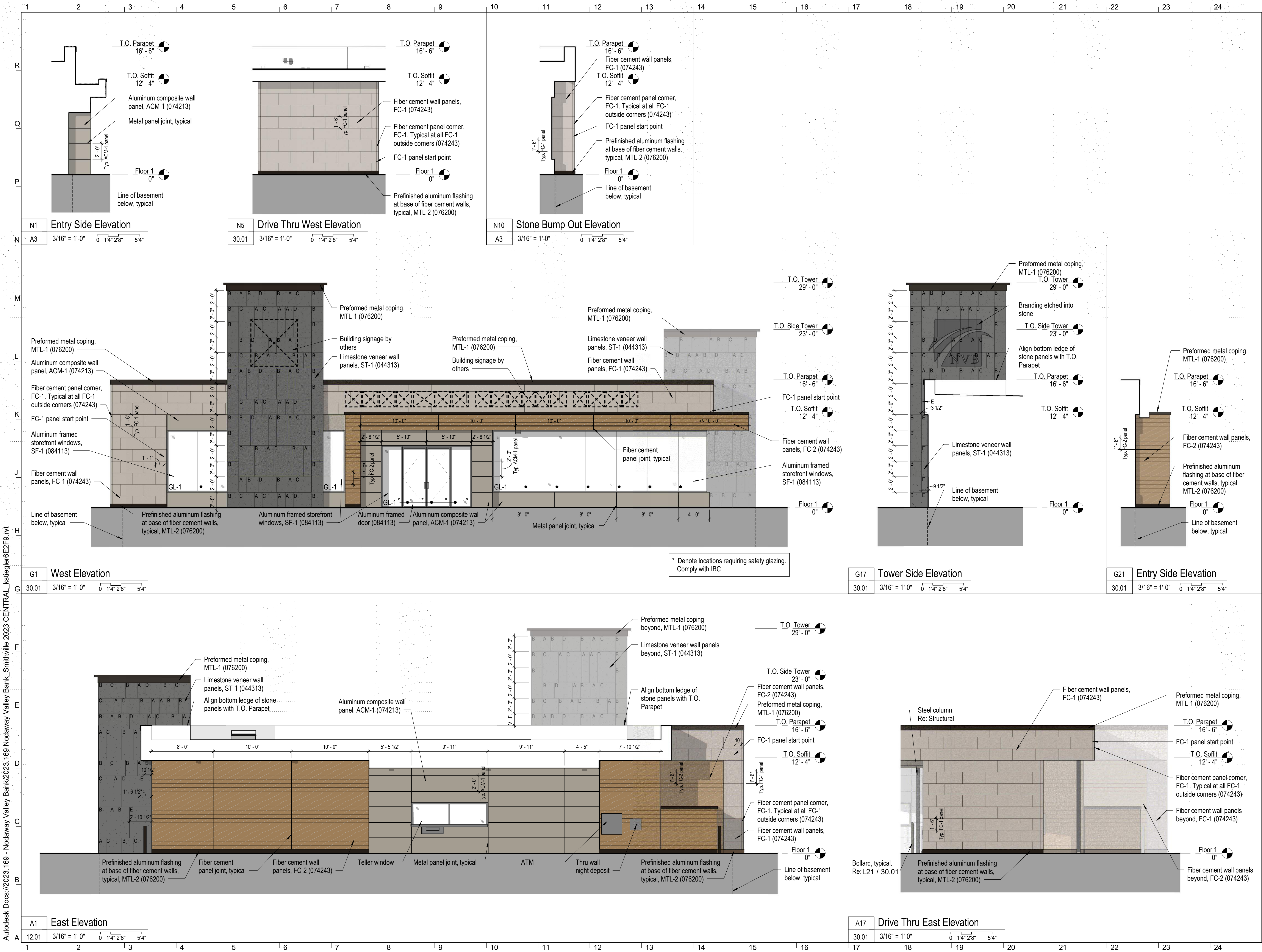
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Exterior Elevations

A4



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Exterior Elevations

**A5**





## Planning and Zoning Commission Procedural Summary

**MEETING DATE:** 7/9/2024

**ACTION ITEM:** Street Naming Changes

**AGENDA ITEM:** Street Designation and Name Changes

---

**REQUESTED COMMISSION ACTION:**

Review the various proposed designation changes or name changes and make a recommendation for the changes to be presented to the Board of Aldermen

**SUMMARY OF PROCEDURE:**

There exists only an informal procedure for changing street names, and even less so for street designations. A name change would be Commercial St. to 148<sup>th</sup> St. A designation change would be Fourth St. Terrace To Fourth Terrace. An example of both a name change and a designation change would be changing 4<sup>th</sup> St. Terrace to Fourth Terrace. The policy behind the procedure is to improve potential areas of confusion; to insert consistent naming or designations; to improve 911 access by eliminating the above.

**ATTACHMENTS:**

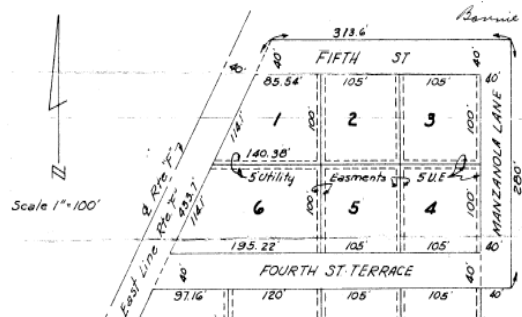
- ☐ Resolution
- ☒ Staff Report

- ☐ Plans
- ☐ Other:

<b>Date:</b>	June 24, 2024
<b>Prepared By:</b>	Jack Hendrix, Development Director
<b>Subject:</b>	Street Designations and Name Changes

In accordance with the discussion at the June 11, 2024 Planning and Zoning Commission meeting, staff has put together a list, along with plat maps or aerial photographs that show the streets that we discussed. As a result of Melissa Wilson's comment about potential other streets, we conducted additional research. What we found included several streets that have been platted, but never improved, as well as another short extension of those that was improved with confusing names. The streets are ordered from north to south in this memorandum.

#### 5<sup>th</sup> St. Circle



McComas Acres – 1960

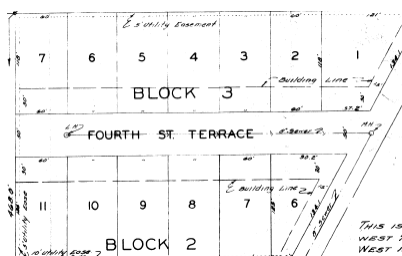


Weatherstone – 1988

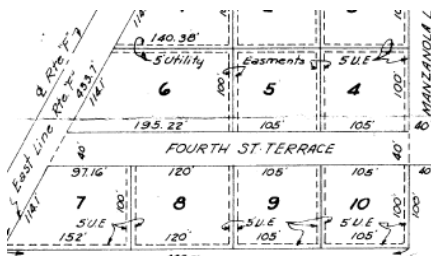
These subdivisions came 28 years apart, but they both have problems with current naming conventions. McComas Acres named the north street Fifth St., and Weatherstone named the extension of that street with the curve and cul-de-sac, 5<sup>th</sup> St. Circle. Staff recommends that the portion of Weatherstone identified as 5<sup>th</sup> St. Circle be renamed to Fifth Circle, or Fifth Dr.. As is shown in the aerial below, this street is currently undeveloped, so no impact to residents will occur.



Fourth St. Terrace



Walker's Add'n 1955



McComas Acres 1960



Weatherstone 1988

Fourth St. Terrace naming started in 1955, McComas Acres extended the street and name in 1960, and Weatherstone extended the street and changed the name to 4<sup>th</sup> St. Terrace. Staff recommends that the portions in Walker's Add'n and McComas Acres be changed from Fourth St. Terrace to simply Fourth Terrace. The Weatherstone street should be renamed from 4<sup>th</sup> St. Terrace to Fourth Terrace. As the following aerial shows, the Walker and McComas portions are constructed but Weatherstone is not constructed. For the residents affected by this change, it is only removing the street moniker and leaving the rest of the street name in place.



### Third St. Terrace



Walkers Add'n 1955

Weatherstone 1988

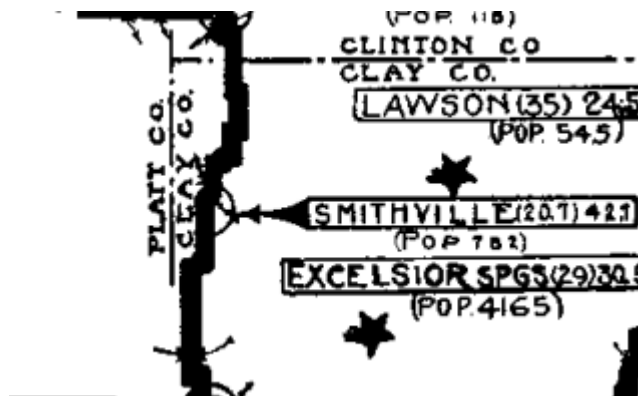
This street naming also began in 1955 with Third St. Terrace. In 1988 when Weatherston was platted, the name changed to 3<sup>rd</sup> Street Terrace. Staff recommends renaming the Walkers Add'n portion from Third St. Terrace to just Third Terrace. This change would minimally impact the residents of that street since the only change is to remove the St. portion and leave Third Terrace. The Weatherstone portion is completely undeveloped so there is no impact to residents of a change from 3<sup>rd</sup> Street Terrace to Third Terrace. The aerial below shows the area.



### Commercial Avenue

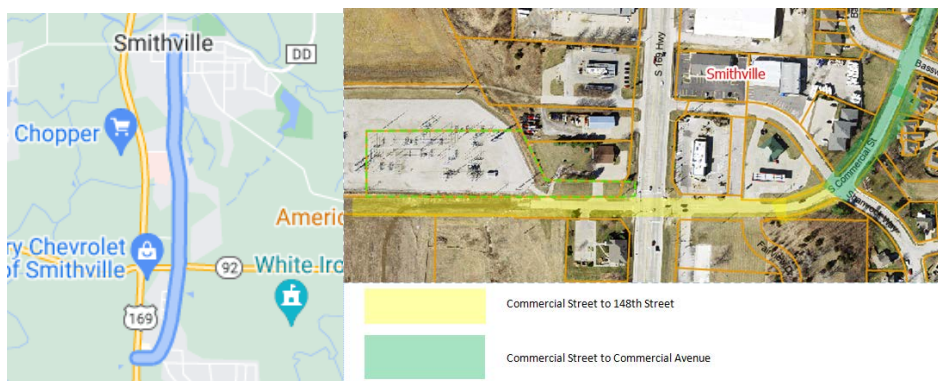
This street has multiple names shown on the various plats from Church Street to 169. There are also more unplatted lots located on the property than plats, the majority of which use "Commercial Street" in the call of the metes and bounds descriptions. For certain, it was initially intended to be Commercial Avenue inside the City Limits, as the Unrecorded Original Town Plat (prior to 1877) identified the street as Commercial

Avenue. Thereafter, the Kemp Woods Addition (1889) kept the Commercial Avenue name. We don't show any clear records after that date (until much more recently) but we know it was fully constructed circa 1924 as it was included in the Jefferson Highway International Tourist Guide as shown below.



It has been identified that the route of the Jefferson Highway followed 169 north, generally out of Nashua, and when it reached what is now Commercial Ave., then jogged to the right and followed the current Commercial Ave route until Main St., where it turned left to Bridge St., then travelled across the bridge. It turned right at Old F Hwy and followed that route through to Trimble. This would explain why the unplatted lots south of downtown refer to Commercial St. generally. One Plat (Emerald Ridge) shows the name to be Commercial Drive. The last plat on the route with a name on the street has it as Avenue, but the McDonalds is an unplatted lot and uses Street. The west side of 169 platted the street as Street.

Staff recommend changing the name throughout the route from Church Street south to Shamrock Way to either Commercial Avenue or Commercial Street to make the naming consistent. The remainder, from Shamrock Way to the end just west of 169 staff recommends that it be renamed 148<sup>th</sup> Street, which lines up with the other three-digit numbered streets throughout town.



If approved by the Commission, staff will submit Resolutions for the Board of Aldermen to consider for each of the street name changes.